

**18.08.180 Amendments to PUD.**

**TOWER CENTER PUD**

Minor Amendment

June 1, 2026

The purpose of this narrative is to describe a proposed major amendment to the Tower Center PUD. This narrative explains the proposed amendment, the reasons for the amendment, provides graphics demonstrating the need for this amendment, and describes how the proposal satisfies the “conditions for amendment”. This information has been prepared in accordance with Section 18.08.180 Amendments to PUD of the Town of Gypsum Municipal Code. The applicant for the project is the Urban Investment Research Corp (UIRC), a real estate company involved in the construction and management of commercial and residential projects. The land is owned by Eagle County Land Company LLC, an entity managed by UIRC.

**Proposed Amendment**

The Mixed Use Planning Area (MU) is one of six Planning Areas established by the Tower Center PUD. Tower Center includes two MU areas as depicted on the drawing below. The purpose of the MU areas is to provide sites for pedestrian-scale, mixed use development with commercial, retail and restaurant uses at ground level and commercial, office and residential uses at upper levels and in doing so create a central hub or activity center for Tower Center and the broader Gypsum community.



The excerpt of the conceptual Tower Center Illustrative Site Plan showing the mixed use area.

Proposed amendments to the Tower Center PUD will reduce the front setback requirement of the MU planning area from 10' to 5'.

**Existing** Setbacks - Commercial Mixed-Use Planning Area

<i>Minimum lot size</i>	2,500 square feet
<i>Maximum lot coverage</i>	75%
<i>Setbacks/front yard</i>	10'
<i>Minimum landscape area</i>	10%
<i>Setbacks/side yard</i>	5'
<i>Maximum building height</i>	45'
<i>Setbacks/rear yard</i>	10'

**Proposed** Setbacks - Commercial Mixed-Use Planning Area

<i>Minimum lot size</i>	2,500 square feet
<i>Maximum lot coverage</i>	75%
<b><i>Setbacks/front yard</i></b>	<b>5'</b>
<i>Minimum landscape area</i>	10%
<i>Setbacks/side yard</i>	5'
<i>Maximum building height</i>	45'
<i>Setbacks/rear yard</i>	10'

An amended PUD Guide reflecting this proposed amendment has been provided with this amendment application. Hillpointe has submitted an application for the second final plat for Tower Center. This final plat includes the MU parcel on the south side of Chiara Drive. In anticipation of this PUD amendment request being approved, this final plat depicts the front setback of this MU parcel at 5'.

**Reasons for the Amendment**

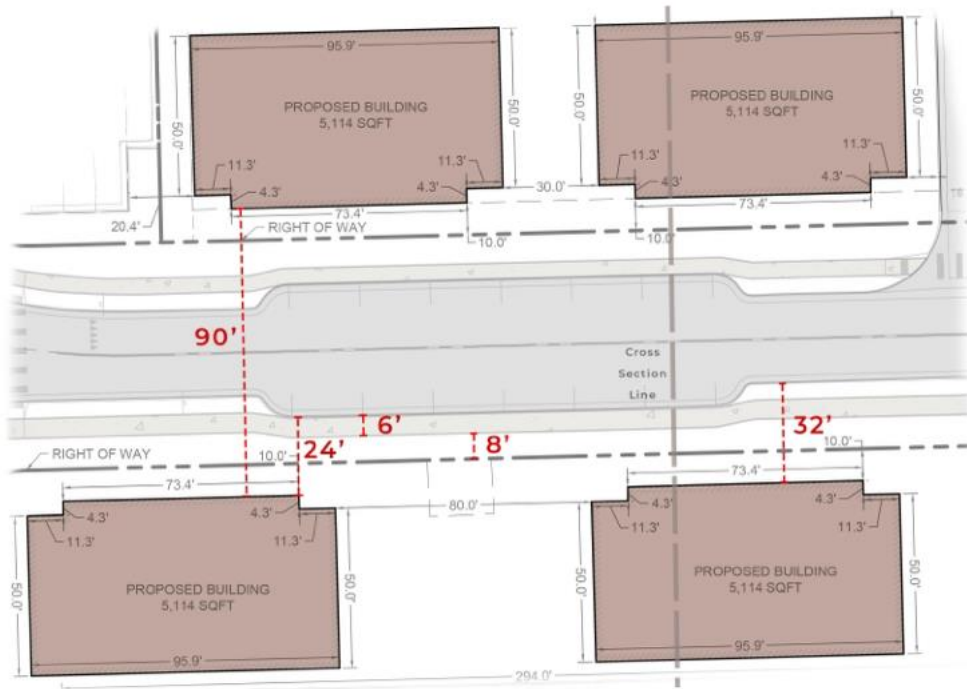
The 10' setback for the MU Planning Area was established during the Preliminary Plan process for Tower Center. This process also involved determining the right-of-way width for Chiara Drive. Initially, this right-of-way width was 60', but it was increased to 70' to provide room for a future ECO bus stop, to accommodate on-street parking, and to provide r.o.w. in the event future turn lanes were needed along Chiara Drive.

Following Final Plat approval, architectural design for buildings in the MU area was initiated. During this process, it became evident that the 70' right-of-way and the 10' setback resulted in two design issues:

**Sidewalk Width**

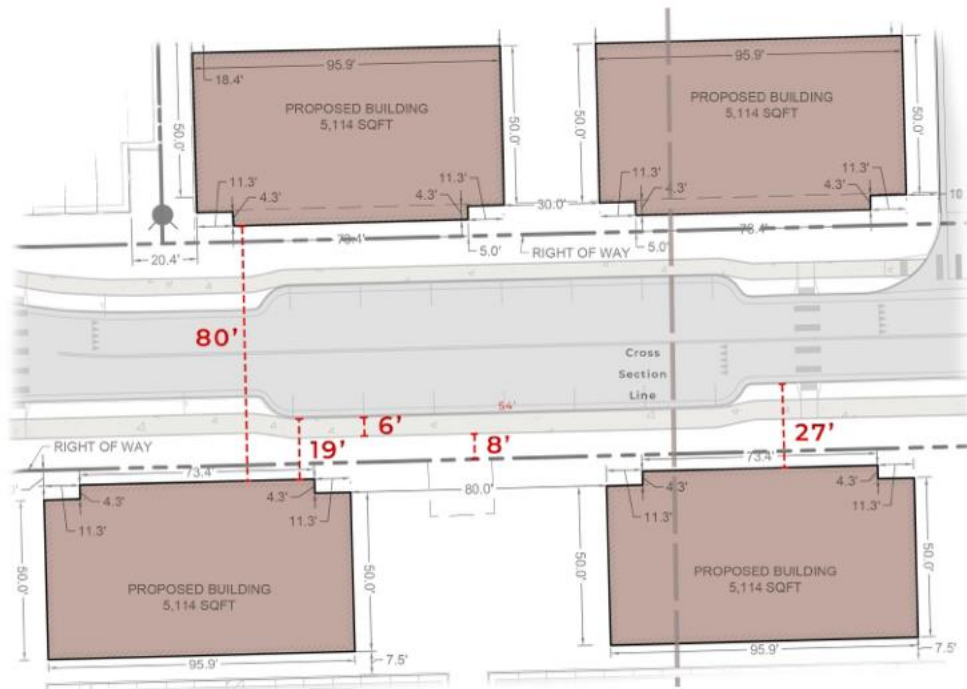
A 10' setback results in approximately 24' of sidewalk/pedestrian corridor between the edge of the curb and the face of the building. This is significantly larger than a typical condition and creates excessive non-functional space between the buildings and edge of road

With the proposed 5' front setback, the sidewalk/pedestrian corridor would be reduced to approximately 19', which is more appropriate for the scale of this MU area.



A conceptual design showing the existing 10' setback condition.

Tower Center Mixed Use Parcel  
 Building Setback Exhibit - 10ft  
 April 2026



A conceptual design showing the proposed 5' setback condition.

Tower Center Mixed Use Parcel  
 Building Setback Exhibit - 5ft  
 April 2026



A aerial image of Capital Street in Eagle and a dimension of the pedestrian corridor on the west side of the street showing an approximate size of 18'. This same scale could be achieved at the Tower Center mixed use area with the proposed 5' front setbacks.

For reference, the west side of Capital Street in Eagle, across from the movie theater, has approximately 18' between the curb and building face. The diagrams on the following pages illustrate these conditions.

### **Building Height to Street Width Ratio**

Urban planners and designers generally agree that, for smaller-scale main streets and mixed-use commercial areas, a street width-to-building height ratio of 1:1 to 1:2 is ideal. This ratio is measured from the face of one building to the opposing building face, divided by the building height.

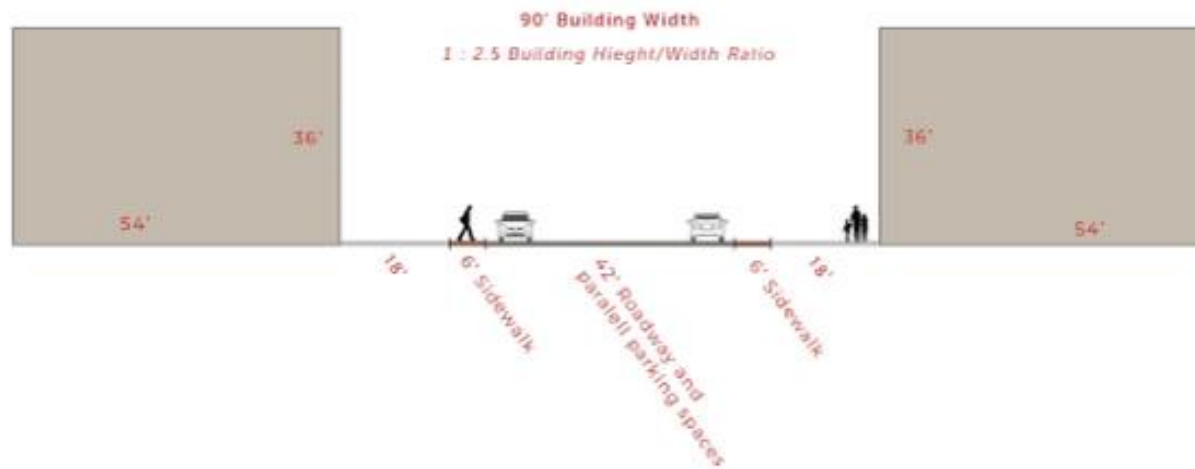
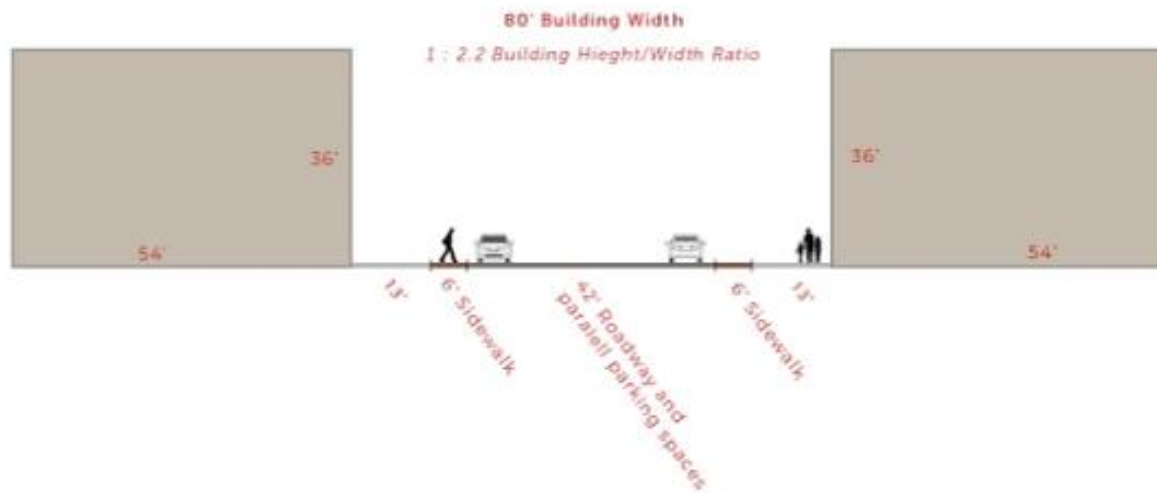
Streetscapes within these ratios feel appropriately scaled, creating a more comfortable environment for both pedestrians and drivers. Tower Center aims to create an environment that is both pleasant and user-friendly.

In the conceptual design, the average height of the mixed-use buildings is approximately 36'. Based on the ratios above, an ideal distance between buildings would be 36' to 72'. With the proposed 5' front setback, the building-to-building width would be approximately 80'. While this still exceeds the ideal range, it is a significant improvement over the 90' width that would result from the existing 10' front setback.



CONCEPTUAL FRONT ELEVATION  
SCALE 1/4" = 1'-0"

Approximate average building height  
36'



Tower Center Mixed Use Parcel  
Building Setback Cross Section Exhibit April 2026

## Conditions for Amendment

Six conditions are to be met in order to amend an approved PUD. Below are responses to how this proposed amendment satisfies these conditions:

- a. Is consistent with the efficient development and preservation of the entire PUD, both as proposed and as completed to the date of the application;

Response

*The amendment involves a minor change to one setback standards in one planning area. The amendment does not affect the efficient development of tower center and has no appreciable impact on the entire PUD. The amendment will result in a more appropriate design solution, that will benefit the entire PUD*

- b. Does not affect in a substantially adverse manner either the enjoyment of land adjacent to the PUD or the public interest;

Response

*The MU planning areas are located in the center of tower Center, isolated from adjacent lands. The setback amendment will have no effect on land adjacent to the PUD*

- c. Is not granted solely to confer a special benefit upon any person;

Response

*The amendment will apply to multiple development parcels, they do not confer a special benefit to any person.*

- d. Does not include any new proposed uses that detract from other uses previously approved for this PUD;

Response

*No new uses are proposed by the proposed amendment.*

- e. Contains street and utility plans that are coordinated with planned and existing streets and utilities for the remainder of the PUD.

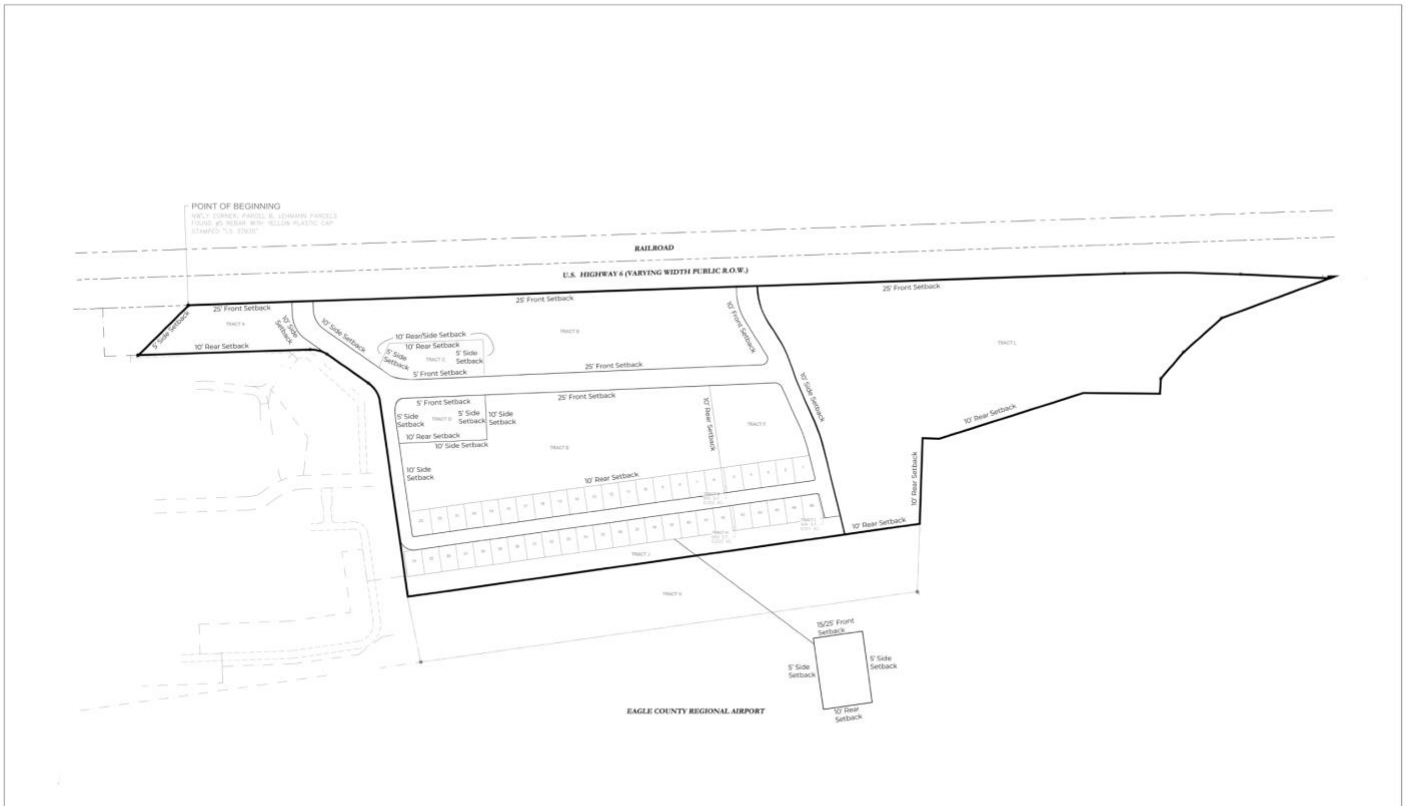
Response

*The proposed amendment to setbacks do not affect streets or utilities that will be developed within the PUD.*

- f. Does not increase water and sewer demands or create adverse traffic impacts.

Response

*The proposed amendment will not affect water, sewer or traffic.*



Tower Center Setback Diagram  
February 2024

Tower Center Setback diagram showing the proposed 5' setbacks.